



# Board of Adjustment Staff Report

**Meeting Date: October 5, 2017**

Subject: Administrative Permit Case Number: WADMIN17-0007  
Applicant: David Dunham  
**Agenda Item Number: 9D**  
Summary: Allow the construction of a detached accessory structure that has a larger building footprint than the main dwelling on the same parcel of land  
**Recommendation: Approval with Conditions**  
Prepared by: Roger Pelham, MPA, Senior Planner  
Washoe County Community Services Department  
Planning and Building Division  
Phone: 775.328.3622  
E-Mail: rpelham@washoecounty.us

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## **Description**

**Administrative Permit Case Number WADMIN17-0007 (Dunham Detached Accessory Structure)** – For possible action, hearing, and discussion to approve an Administrative Permit to allow the construction of a detached accessory structure that has a larger building footprint than the main dwelling on the same parcel of land, in accordance with Washoe County Code Section 110.306.10.

- Applicant / Property Owner: David Dunham  
6000 Winnemucca Ranch Road  
Reno, NV 89510
- Location: 6000 Winnemucca Ranch Road, approximately 1.7 miles northwest of its intersection with Pyramid Highway.
- Assessor's Parcel Number: 076-130-35
- Parcel Size: ±38.375 Acres
- Master Plan Category: Rural (R)
- Regulatory Zone: General Rural Agricultural (GRA)
- Area Plan: Warm Springs
- Citizen Advisory Board: Warm Springs / Rural
- Development Code: Authorized in Article 306, Accessory Uses and Structures
- Commission District: 5 – Commissioner Herman
- Section/Township/Range: Section 11, T22N, R20E, MDM  
Washoe County, NV

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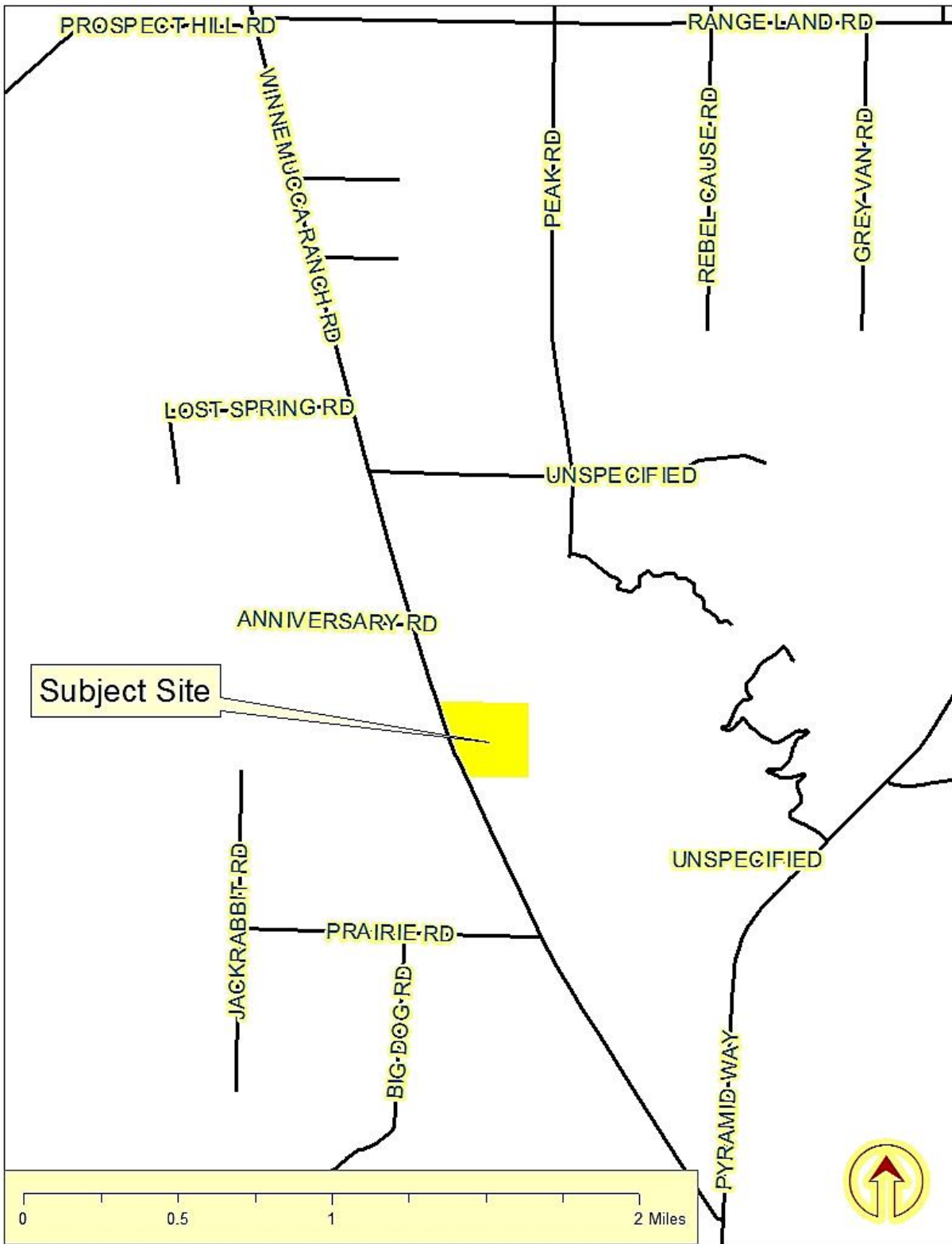
Project Application ..... Exhibit D

**Administrative Permit Definition**

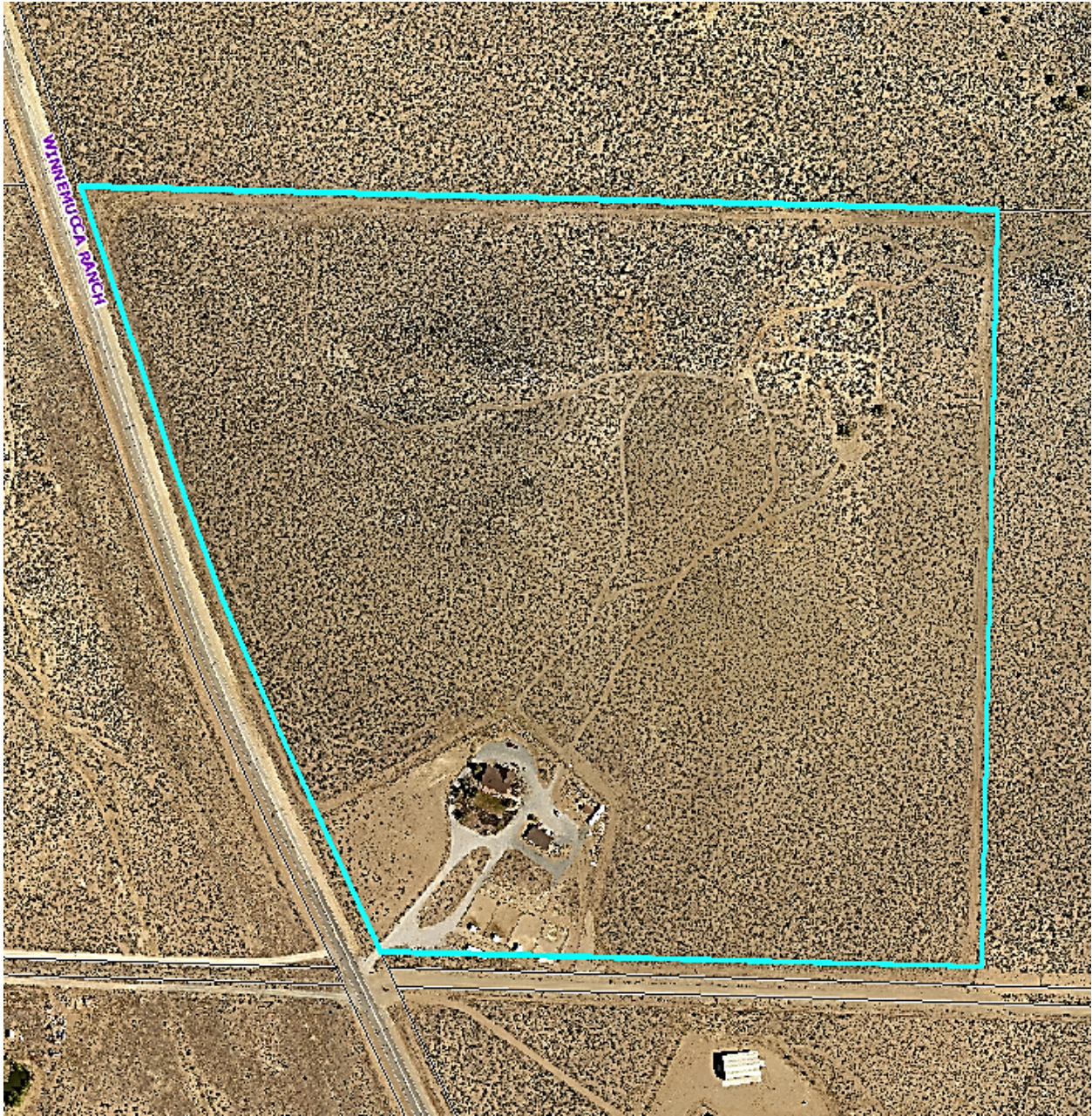
The purpose of an Administrative Permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Hearing Examiner or the Board of Adjustment must find that all of the required findings, if applicable, are true.

The Conditions of Approval for Administrative Permit Case Number WADMIN17-0007 are attached to this staff report and will be included with the Action Order, if approved by the Board of Adjustment.

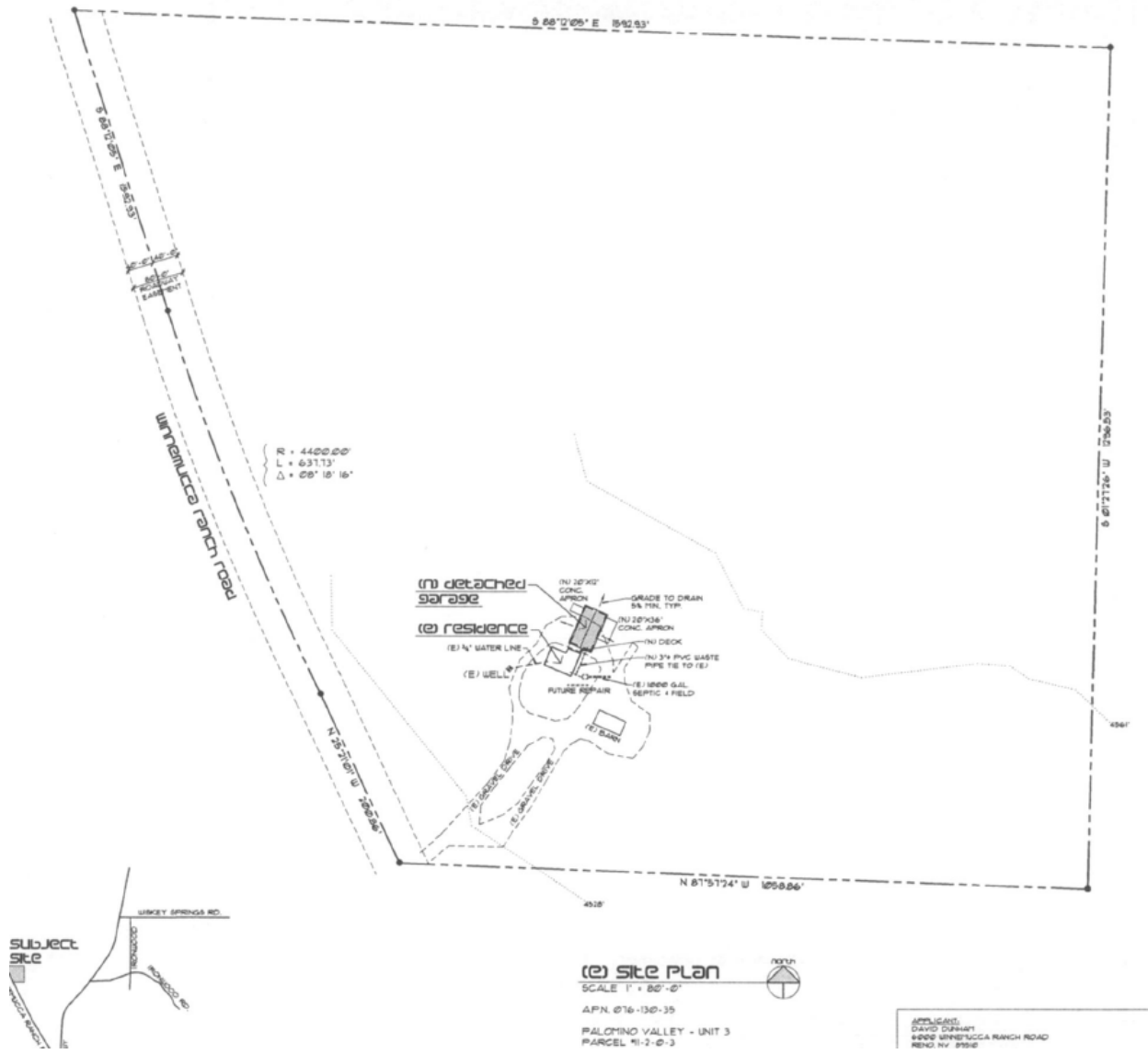
The subject property is designated as General Rural Agricultural (GRA). The existing dwelling is approximately 1858 square feet in size. The proposed accessory structure is approximately 2040 square feet in size. The proposed detached accessory structure has a larger building footprint than the main dwelling on the same parcel and requires an Administrative Permit per WCC 110.306.10(d). That section exempts parcels 40 acres or larger within the GRA zone, however, this parcel is 38.375 acres in size. Therefore, an Administrative Permit is required and the applicant is seeking approval of this Administrative Permit from the Board of Adjustment.



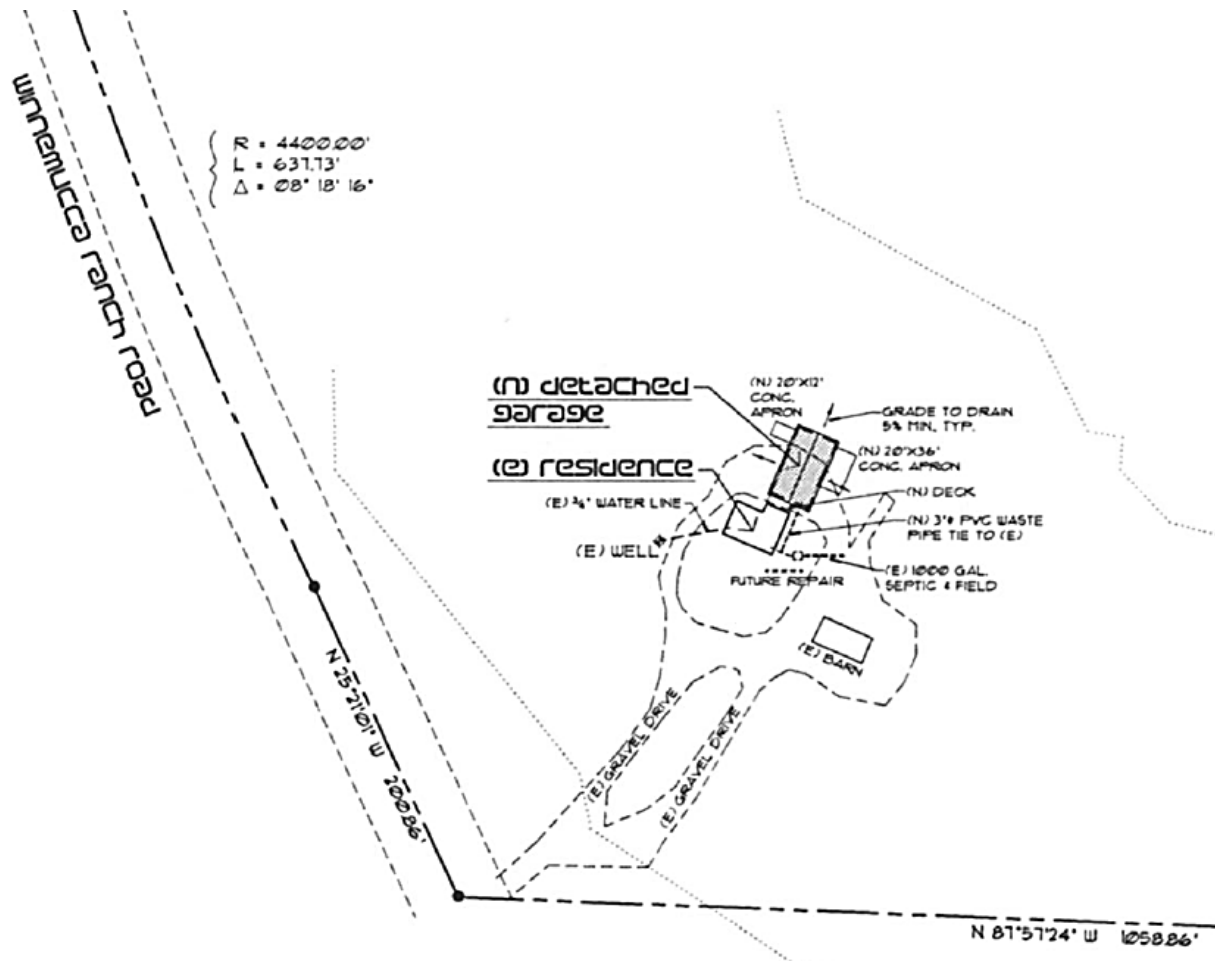
**Vicinity Map**



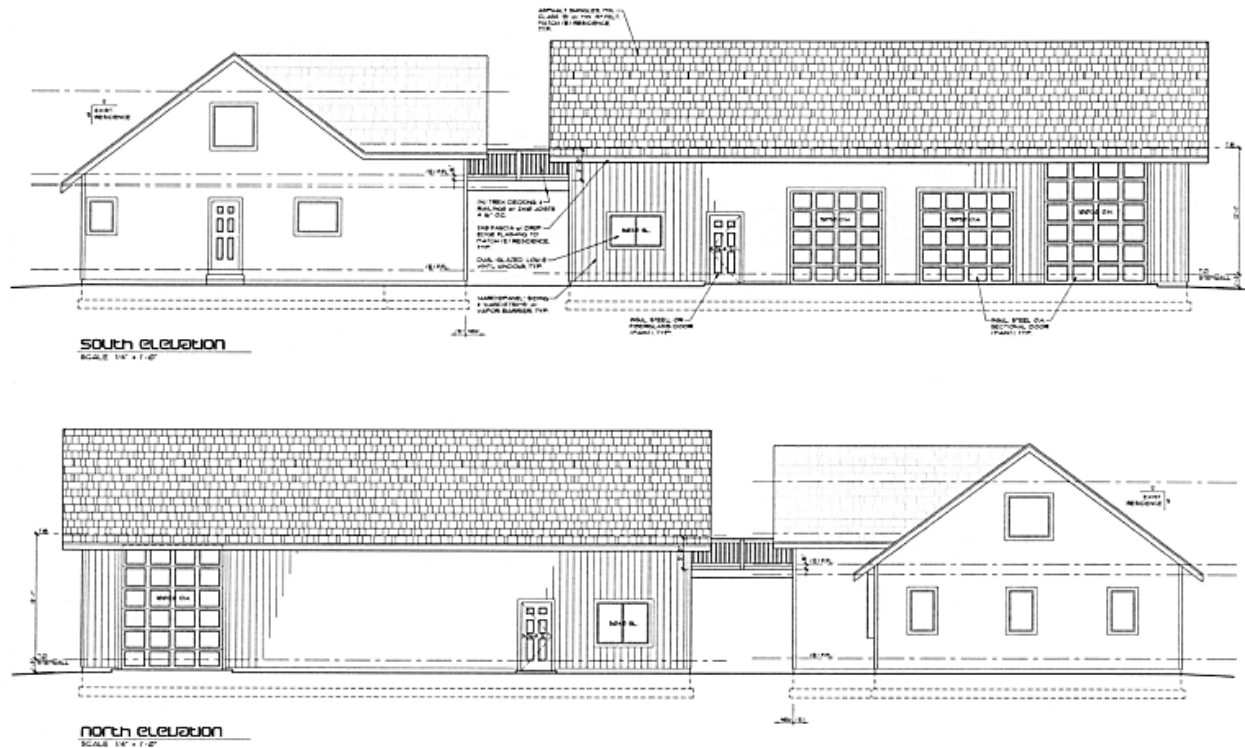
**Overhead Photo**



**Site Plan**



**Detail Site Plan**



### Proposed Building Elevations

#### Project Evaluation

The applicant is requesting to construct a detached accessory structure that is larger than the main dwelling unit that currently exists on the subject parcel. The existing dwelling is approximately 1858 square feet in size. The proposed accessory structure is approximately 2040 square feet in size. In this rural area, comprised in large part of parcels of land about forty acres and greater in size, there are many detached accessory structures on many parcels that are larger than the main dwellings. Therefore, this request is not out of character with the surrounding area. The proposed structure will be located to the rear of the existing dwelling and will be visible from the adjacent roadway. WCC at Section 110.306.10(d) requires that, "A proposal to establish a detached accessory structure that is larger (i.e. has more square footage or a larger building footprint) than the existing main structure shall require the approval of an Administrative Permit (pursuant to Article 808), to include review of building height and architectural compatibility with surrounding dwellings, prior to the issuance of a building permit." Dwellings in the surrounding area are comprised largely of single-story homes. The proposed structure is comprised of siding and roofing materials to match the existing dwelling and is proposed to be the same height as the existing dwelling.

Conditions of approval have been included to require that the colors of the proposed structure match those of the existing dwelling. The site includes mature landscaping with mature deciduous trees. The overall appearance of the proposed structure will match the surrounding architecture and may be perceived as a part of the existing dwelling unit. For that reason, conditions of approval are minimal and simply include a condition to plant additional trees near the proposed structure.





### **Warm Springs / Rural Citizen Advisory Board (WS/R CAB)**

The Warm Springs / Rural Citizen Advisory Board did not meet during the review period for this Administrative Permit. The application was provided to the Board members and written comments were requested. No comments were received.

### **Reviewing Agencies**

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
  - Engineering and Capital Projects Division
  - Planning and Building Division
- Washoe County Health District, Environmental Health Services Division
- Truckee Meadows Fire Protection District
- Washoe County School District
- Regional Transportation Commission
- Washoe-Storey Conservation District

Of above listed agencies/departments, only the Planning and Building Division provided substantive comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of that agency's comments and recommended conditions of approval and their contact information is provided. The Conditions

of Approval document is attached to this staff report and will be included with the Action Order, if approved by the Board of Adjustment.

- Washoe County Planning and Building Division addressed minor additions to landscaping to help mitigate the visual impact of the project.

**Contact: Roger Pelham, 775.328.3622, rpelham@washoecounty.us**

### **Staff Comment on Required Findings**

WCC Section 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the Administrative Permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Warm Springs Area Plan.

Staff Comment: There are no policies or action programs in the Warm Springs Area Plan that are applicable to the requested detached accessory structure.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: Electrical connection is available on the subject site. Water will be provided by an existing domestic well and sewer by means of an existing individual septic system.

3. Site Suitability. That the site is physically suitable for a detached accessory structure, larger than the main dwelling, and for the intensity of such a development.

Staff Comment: All standard setbacks and applicable building requirements will be met prior to approval of the building permit for the proposed detached accessory structure.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: Detached accessory structures are common in the surrounding area, therefore there is no significant detriment anticipated.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation in the required notice area of the proposed detached accessory dwelling, so this finding is not required to be made by the BOA.

### **Recommendation**

Those agencies which reviewed the application recommended conditions in support of approval of the project, or provided no comment. Therefore, after a thorough analysis and review, Administrative Permit Case Number WADMIN17-0007 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

**Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN17-0007 for David Dunham, with the conditions of approval included as Exhibit A to this matter, having made all four required findings in accordance with Washoe County Code Section 110.808.25:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Warm Springs Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a detached accessory structure, larger than the main dwelling, and for the intensity of such a development; and
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

**Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant/Property Owner: David Dunham  
6000 Winnemucca Ranch Road  
Reno, NV 89510

Action Order:



# Conditions of Approval

Administrative Permit Case Number WADMIN17-0007

The project approved under Administrative Permit Case Number WADMIN17-0007 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on October 5, 2017. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

**Unless otherwise specified**, all conditions related to the approval of this Administrative Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Administrative Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Administrative Permit may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning and Building Division**

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

**Roger Pelham, Senior Planner, 775.328.3622 [rpelham@washoecounty.us](mailto:rpelham@washoecounty.us)**

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- b. The applicant shall submit complete construction plans and building permits shall be issued within two (2) years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by Planning and Building.
- c. The applicant shall attach a copy of the Action Order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- e. The exterior colors and general architectural design of the structure shall match the existing dwelling.
- f. The plans shall show, and the applicant shall install, at least two additional trees between the structure and Winnemucca Ranch Road.

\*\*\* End of Conditions \*\*\*



**Washoe County**  
**COMMUNITY SERVICES DEPARTMENT**  
*Engineering and Capital Projects Division*

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Date: August 30, 2017

To: Roger Pelham, Planning and Development Division

From: Leo R. Vesely, P.E., Engineering and Capitol Projects Division

Re: **WADMIN17-0007**  
**APN 076-130-35**  
**Dunham Detached Accessory Structure**

I have reviewed the referenced administrative permit case and have no conditions or comments.

LRV/lrv



**REGIONAL TRANSPORTATION COMMISSION**

*Metropolitan Planning • Public Transportation & Operations • Engineering & Construction*

Metropolitan Planning Organization of Washoe County, Nevada

August 23, 2017

FR: Chrono/PL 183-17

Mr. Roger Pelham, Senior Planner  
Community Services Department  
Washoe County  
PO Box 11130  
Reno, NV 89520

**RE: WADMIN17-0007 (Dunham Detached Accessory Structure)  
WPVAR17-0007 (Izakaya Tahoe)  
WSUP17-0017 (IVGID Bike Park)  
WSUP17-0018 (Verizon Rolling Thunder Grading)**

Dear Mr. Pelham,

We have reviewed the above applications and have no comments at this time.

Thank you for the opportunity to comment on these applications. Please feel free to contact me at 775-332-0174 or email me at [rkapuler@rtcwashoe.com](mailto:rkapuler@rtcwashoe.com) if, you have any questions or comments.

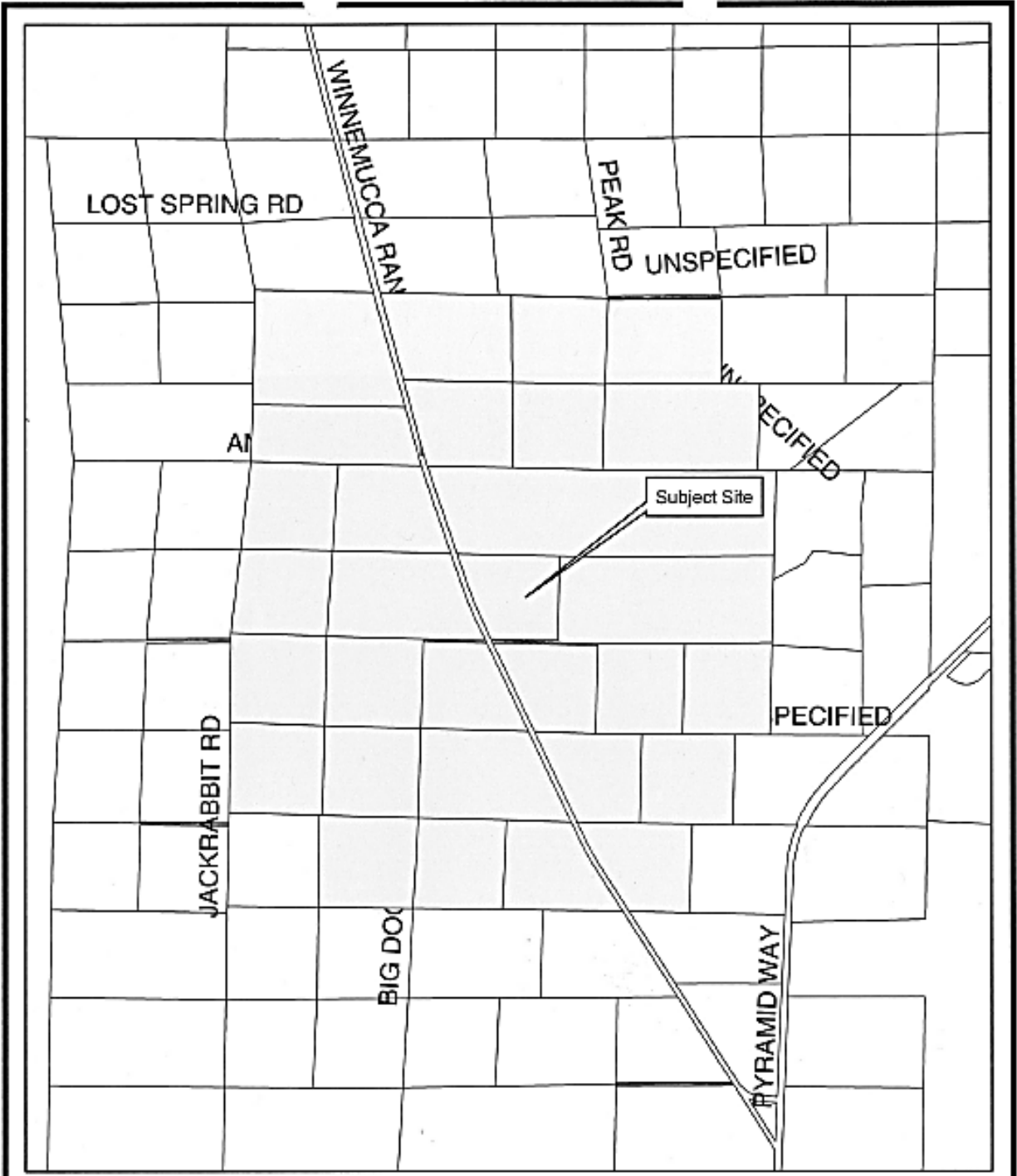
Sincerely,

Rebecca Kapuler  
Planner

RK/jm

**Copies:** Mojra Hauenstein, Washoe County Community Services  
Trevor Lloyd, Washoe County Community Services  
Chad Giesinger, Washoe County Community Services  
Jae Pullen, Nevada Department of Transportation, District II  
Daniel Doenges, Regional Transportation Commission  
Tina Wu, Regional Transportation Commission  
Mark Maloney, Regional Transportation Commission  
Julie Masterpool, Regional Transportation Commission  
David Jickling, Regional Transportation Commission

/Washoe County no comment 09012017



Mailing Label Map  
 Administrative Permit Case Number WADMIN17-0007  
 Dunham Detached Accessory Structure  
 30 Parcels selected at 3000 feet.



Community Services  
 Department  
 Planning and  
 Development Division  
 WASHOE COUNTY  
 NEVADA  
 Post Office Box 11130  
 Reno, Nevada 89520  
 (775) 328-3600

Source: Planning and Development Division

Date: August 2017



Community Services Department  
Planning and Building  
**ADMINISTRATIVE PERMIT APPLICATION**  
**(Care for the Infirm see page 9)**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <u>Detached Garage</u>			
Project Description: <u>Detached Garage, Laundry Room, office.</u>			
Project Address: <u>6000 Winnemucca Ranch Rd.</u>			
Project Area (acres or square feet): <u>2040 sq'</u>			
Project Location (with point of reference to major cross streets <b>AND</b> area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>07613035</u>	<u>38.752</u>		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: <u>DAVID Dunham</u>		Name: <u>Al Salzano</u>	
Address: <u>6000 Winnemucca Ranch</u>		Address: <u>5935 Grass Valley Rd</u>	
<u>Reno, NV</u> Zip: <u>89510</u>		<u>Reno, NV</u> Zip: <u>89510</u>	
Phone: <u>775-690-7867</u> Fax: <u>N/A</u>		Phone: <u>775-233-1984</u> Fax: <u>475-0796</u>	
Email:		Email:	
Cell: <u>775-690-7867</u> Other:		Cell: <u>775-233-1984</u> Other:	
Contact Person: <u>DAVID</u>		Contact Person: <u>Al Salzano</u>	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: <u>Dunhams Commercial</u>		Name:	
Address: <u>6000 Winnemucca Ranch</u>		Address:	
<u>Reno, NV</u> Zip: <u>89510</u>		Zip:	
Phone: <u>775-690-7867</u> Fax: <u>N/A</u>		Phone: Fax:	
Email: <u>dunhamscommercial@gmail.com</u>		Email:	
Cell: <u>775-690-7867</u> Other:		Cell: Other:	
Contact Person: <u>DAVID Dunham</u>		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

July 1, 2017

**Property Owner Affidavit**

**Applicant Name:** DAVID W DUNHAM

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, DAVID W DUNHAM  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

**(A separate Affidavit must be provided by each property owner named in the title report.)**

Assessor Parcel Number(s): 07613035

Printed Name DAVID DUNHAM

Signed [Signature]

Address 6000 Winnemucca Ranch RD

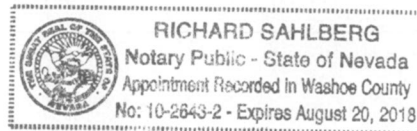
RENO NV 89510

Subscribed and sworn to before me this 8 day of AUGUST, 2017.

(Notary Stamp)

[Signature]  
Notary Public in and for said county and state

My commission expires: 8/20/2018



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

# Property Tax Reminder Notice

WASHOE COUNTY  
 PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

PIN: 07613035  
 AIN:

<b>Balance Good Through:</b>	<b>08/08/2017</b>
<b>Current Year Balance:</b>	<b>\$0.00</b>
<b>Prior Year(s) Balance:</b> (see below for details)	<b>\$0.00</b>
<b>Total Due:</b>	<b>\$0.00</b>

AUTO  
 :895107:

DAVID W DUNHAM  
 6000 WINNEMUCCA RANCH RD  
 RENO NV 89510

Description:

Situs: 6000 WINNEMUCCA RANCH RD  
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: [www.washoecounty.us/treas](http://www.washoecounty.us/treas)

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
07613035	2016	2016080110	1	08/15/2016	533.89	0.00	0.00	533.89	0.00
07613035	2016		2	10/03/2016	533.89	0.00	0.00	533.89	0.00
07613035	2016		3	01/02/2017	533.89	0.00	0.00	533.89	0.00
07613035	2016		4	03/06/2017	533.88	0.00	0.00	533.88	0.00
Current Year Totals					2,135.55	0.00	0.00	2,135.55	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

# Property Tax Reminder Notice

WASHOE COUNTY  
 PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

PIN: 07613035  
 AIN:

<b>Balance Good Through:</b>	<b>08/08/2017</b>
<b>Current Year Balance:</b>	<b>\$2,099.34</b>
<b>Prior Year(s) Balance:</b> (see below for details)	<b>\$0.00</b>
<b>Total Due:</b>	<b>\$2,099.34</b>

AUTO  
 :895107:

DAVID W DUNHAM  
 6000 WINNEMUCCA RANCH RD  
 RENO NV 89510

Description:

Situs: 6000 WINNEMUCCA RANCH RD  
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: [www.washoecounty.us/treas](http://www.washoecounty.us/treas)

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
07613035	2017	2017080000	1	08/21/2017	524.84	0.00	0.00	0.00	524.84
07613035	2017		2	10/02/2017	524.84	0.00	0.00	0.00	524.84
07613035	2017		3	01/01/2018	524.83	0.00	0.00	0.00	524.83
07613035	2017		4	03/05/2018	524.83	0.00	0.00	0.00	524.83
Current Year Totals					2,099.34	0.00	0.00	0.00	2,099.34

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

## Administrative Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 808, Administrative Permits.

1. What is the type of project or use being requested?

Residential detached garage

2. What currently developed portions of the property or existing structures are going to be used with this permit?

Existing house attached by breeze way to garage.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Residential detached garage tie in new electrical, plumbing and septic into existing

4. What is the intended phasing schedule for the construction and completion of the project?

1 yr from start to comp.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

6. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

n/a

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

n/a

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

n/a

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

n/a



12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

13. Utilities:

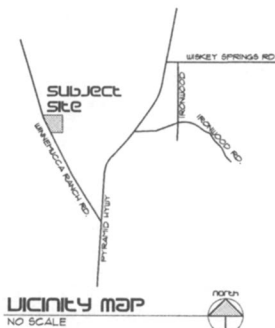
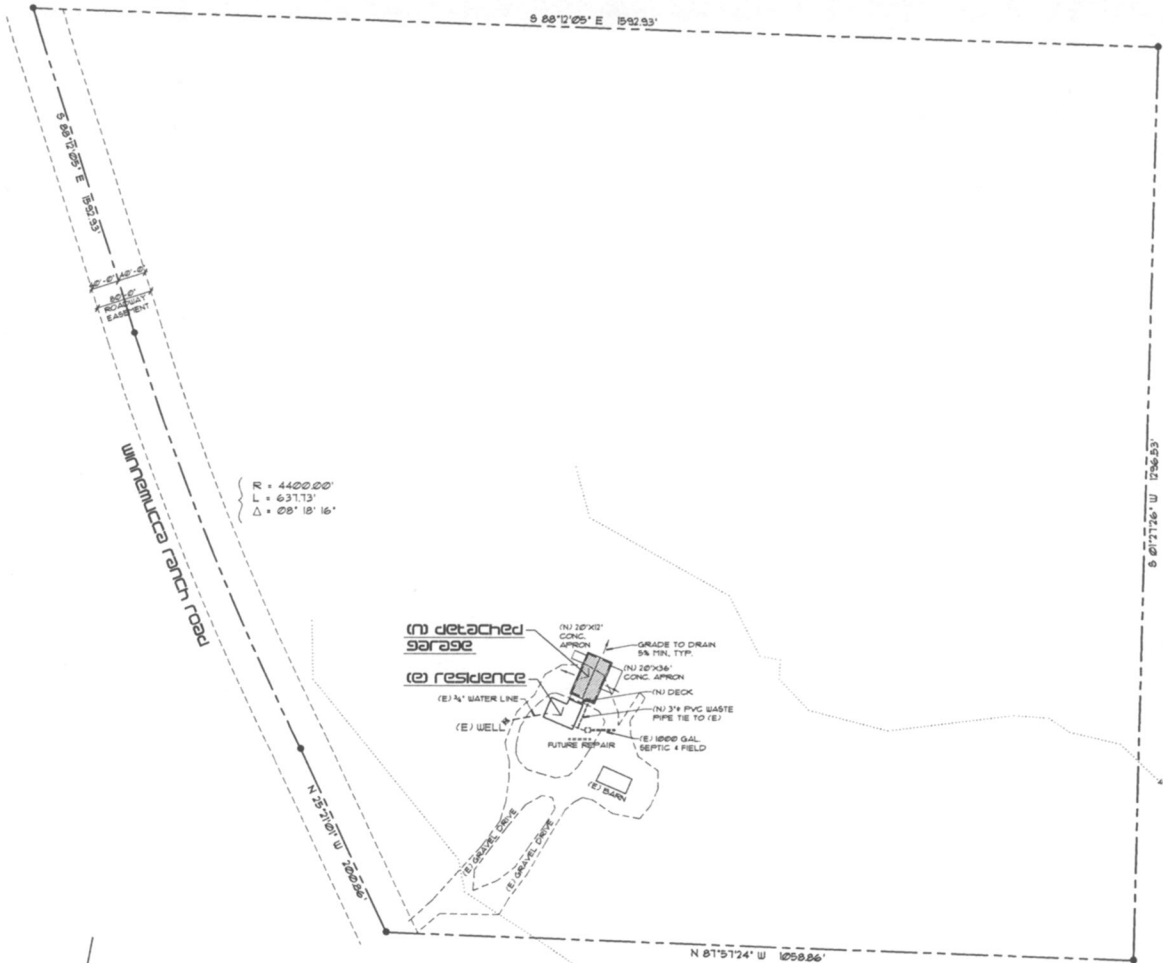
a. Sewer Service	Septic
b. Water Service	Well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

N/A
-----



**(E) Site Plan**  
 SCALE 1" = 80'-0"  
 APN. 016-130-35  
 PALMCHINO VALLEY - UNIT 3  
 PARCEL #1-2-D-3

APPLICANT:  
 DAVID DUNHAM  
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 RENO, NV 89509  
 (775) 850-1861

NO SEWER WITHIN 400 FEET  
 3 BEDROOMS TOTAL - NO CHANGE  
 TOTAL LOT AREA APPROX. 38.753 ACRES  
 NO WATERCOURSE OR DRAINAGE CHANNEL WITHIN 100 FT.  
 NO 100-YR FLOOD PLANS WITHIN 100 FT.  
 NO WELLS WITHIN 200 FT.

**general notes:**

1. ALL CONSTRUCTION SHALL MEET THE CURRENT REQUIREMENTS OF THE IRLC, WASHOE COUNTY BUILDING & PLANNING DEPARTMENTS & ANY APPLICABLE C.C.A.R.'S WITHIN THIS DEVELOPMENT.
2. FIELD VERIFY EXISTING SITE GRADES AND CONDITIONS.
3. FIELD VERIFY ALL UTILITY LOCATIONS - CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES & REQUIREMENTS.
4. ALL PREFABRICATED PRODUCTS SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.
5. PROPERTY IS LOCATED IN "HIGH FIRE HAZARD" UPLAND-UPLAND INTERFACE (UUI) ZONE. SEE SHEET A-6 FOR UUI REQUIREMENTS & NOTES.

**Site Legend:**



**Site notes:**

1. SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION AND PRIOR TO SETTING ANY CONC. FORMS. SOIL'S ENGINEER RECOMMENDATIONS CONCERNING FOOTING SIZE, DEPTH, COMPACTION, ETC. SHALL BE FOLLOWED.
2. ALL WALKS, DRIVES AND PATIOS NOTED ON SITE PLAN SHALL BE 4" CONC WITH FIBER FESH OVER 6" TYPE-II BASE COMPACTED TO 95%.
3. CARE SHALL BE TAKEN THAT ALL VEGETATION IN UNDEVELOPED AREAS IS PROTECTED DURING CONSTRUCTION. ALL VEHICLES & MATERIAL STORAGE SHALL BE RESTRICTED TO (E) DRIVE AREA.
4. GRADE SITE TO DRAIN 2% MIN. FOR 10'-0" AWAY FROM RESIDENCE.

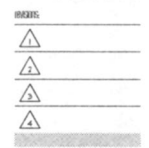
**drawing index**

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7-17-17



**garage addition**  
 DAVID DUNHAM  
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(E) SITE PLAN, DRAWING INDEX

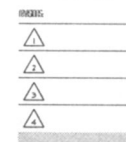
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**A-1**



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**garage addition**  
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6000 WINNERMIDGE RANCH ROAD  
WASHOE COUNTY, NEVADA

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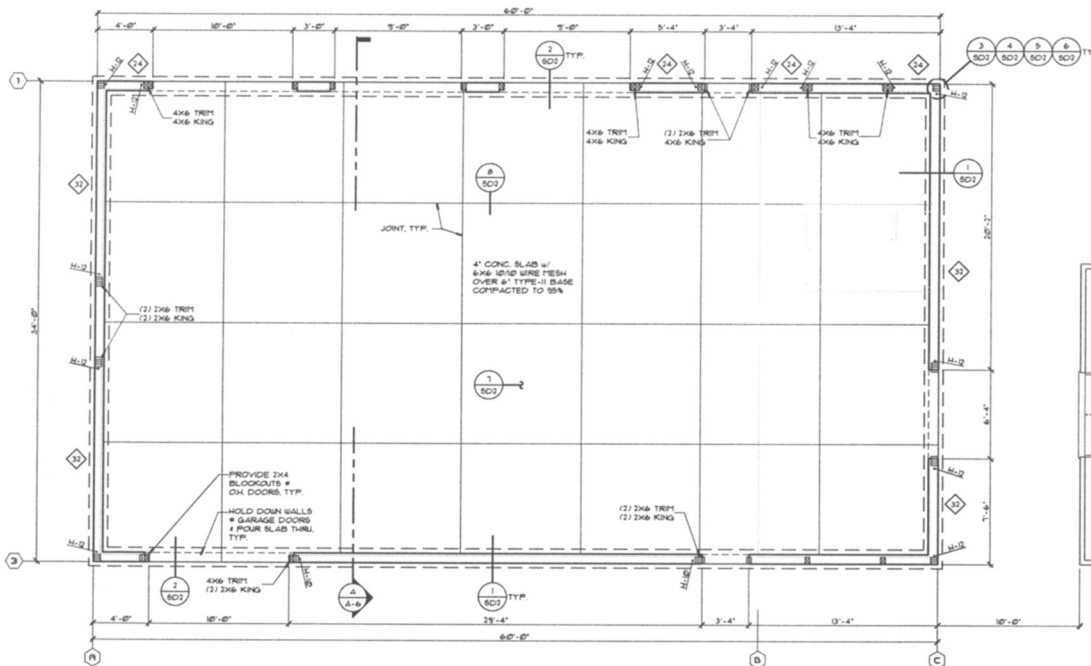
FOUNDATION

FOUNDATION  
PLAN

DATE:

1749

**A-2**



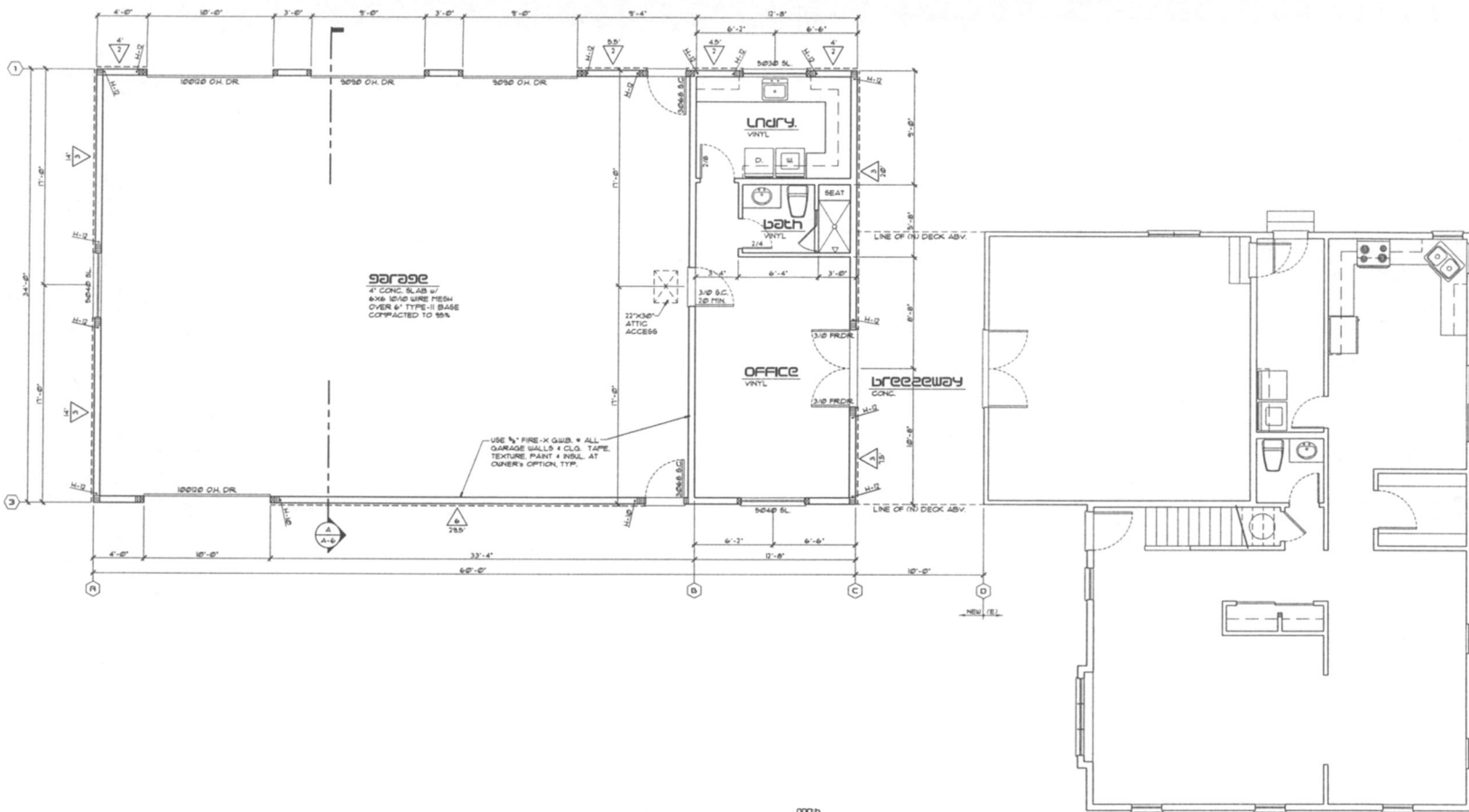
**Foundation Plan**

SCALE 1/4" = 1'-0"



**Foundation notes:**

1. SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION & PRIOR TO SETTING ANY CONCR. FORMS. SOIL'S ENGINEER RECOMMENDATIONS CONCERNING OVER EXCAVATION, COMPACTION, ETC. SHALL BE FOLLOWED.
2. CONCR. FOOTINGS 16" X 16" w/ 2-N REBAR CONT. TYP. UNO. STEP FOOTINGS AS REQ'D. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. SEE EXTERIOR ELEV. FOR FOOTING & PIER DEPTHS (MIN. 2'-0"). FIELD VERIFY.
3. 8" CONCR. FOUNDATION WALL w/ 1-N TOP & 1-N VERT. # 24' O.C. TYP. UNO. PROVIDE 3/8" X 17' AIS. # 48' O.C. UNO. TO 3/16" P.T. SILL UNO. IN SHEAR WALL PLAN. PROVIDE 3X6 P.T. SOLE IN # GARAGE.
4. ALL BRACING HARDWARE SHALL BE SIFFSON. INSTALL PER MANUF. REQUIREMENTS.
5. ALL SLABS TO BE 4" THICK CONCRETE w/ 6X6 10#10 WELDED WIRE FABRIC REINFORCING OR CONCRETE SHALL HAVE FIBERESH ACCITIVE & PLANT. SLAB SHALL BE PLACED OVER # TYPE-II BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL IF SATIABLE.
6. SEE SHEET 601 FOR ADDITIONAL STRUCT. NOTES & SCHEDULES.



**FLOOR PLAN**  
 SCALE 1/4" = 1'-0"  
 (N) GARAGE AREA APPROX. 1592 SQFT.  
 (N) OFFICE/BATH/LAUNDRY APPROX. 448 SQFT.  
 TOTAL AREA APPROX. 2040 SQFT.  
 (N) DECK AREA APPROX. 713 SQFT.

- FLOOR PLAN NOTES:**
- EXTERIOR WALLS SHALL BE 2X6 STUDS @ 16" O.C. w/ MIN 1/2" CDX PLYUD (OR EQUAL SHEATHING 1/4" GAP @ ALL EDGES), VAPOR BARRIER & R-7.5 INSL. TYP. PROVIDE FOAM BULL SEAL @ ALL EXTERIOR WALLS.
  - 1/2" GWB @ WALLS & 5/8" GWB @ CEILINGS TYP. USE 1/2" FIRE-X GWB IN GARAGE & TILE BACKER DO IN SET AREAS. FINISH CRITICAL PER OWNER.
  - TYPICAL PLATE HEIGHT IS 0'-1" AFF. (UNO.) WINDOW HEADER HEIGHT IS 6'-8" AFF. (UNO.) DOOR HEIGHT IS 6'-8" AFF. (UNO.)
  - ALL CEILING FRAMING SHALL BE @ 24" O.C. AS FOLLOWS:  
 2X6'S MAX. SPAN 9'-0"  
 2X8'S MAX. SPAN 11'-0"  
 2X8'S MAX. SPAN 13'-6"
  - SEE EXTERIOR ELEVATIONS FOR SPECIALTY WINDOWS. ALL GLAZING SHALL BE LOW-E COATED, DUAL GLAZED.
  - PROVIDE SILL PANS @ ALL EXTERIOR DOORS & WINDOWS.
  - PROVIDE FIRE BLOCKING @ MAX. 12'-0" O.C. HORIZ. AT ANY WALL(S) THAT EXCEED 12'-0" IN HEIGHT.
  - SEE SDI FOR ADDITIONAL STRUCT. NOTES & SCHEDULES.

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 WASHOE COUNTY, NEVADA

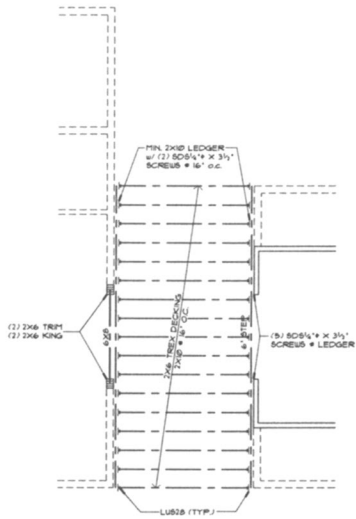
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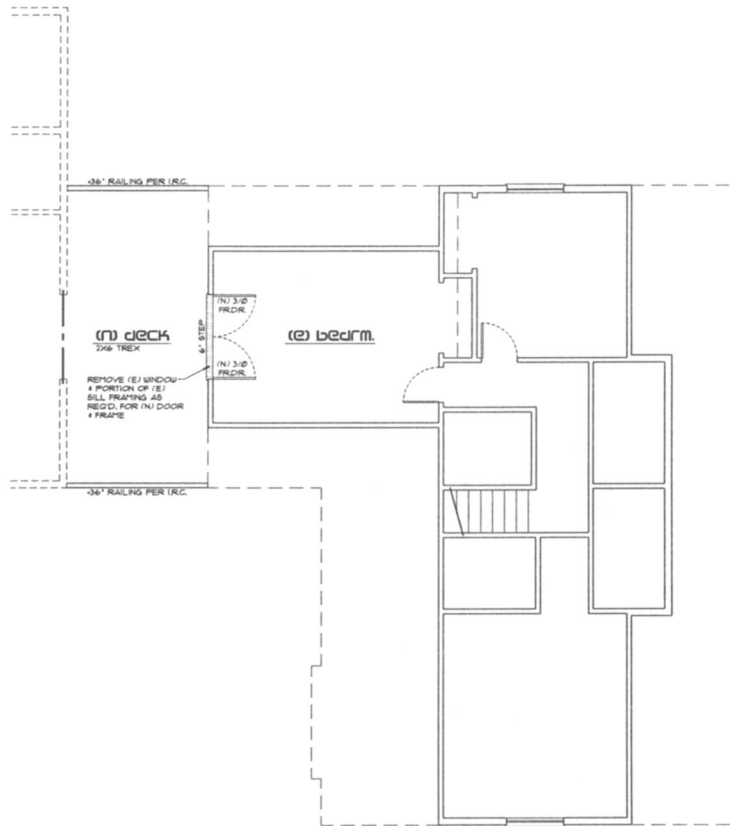
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 FLOOR PLAN

1749

**A-3**



deck Framing Plan  
SCALE 1/4" = 1'-0"



UPPER FLOOR/DECK PLAN  
SCALE 1/4" = 1'-0"



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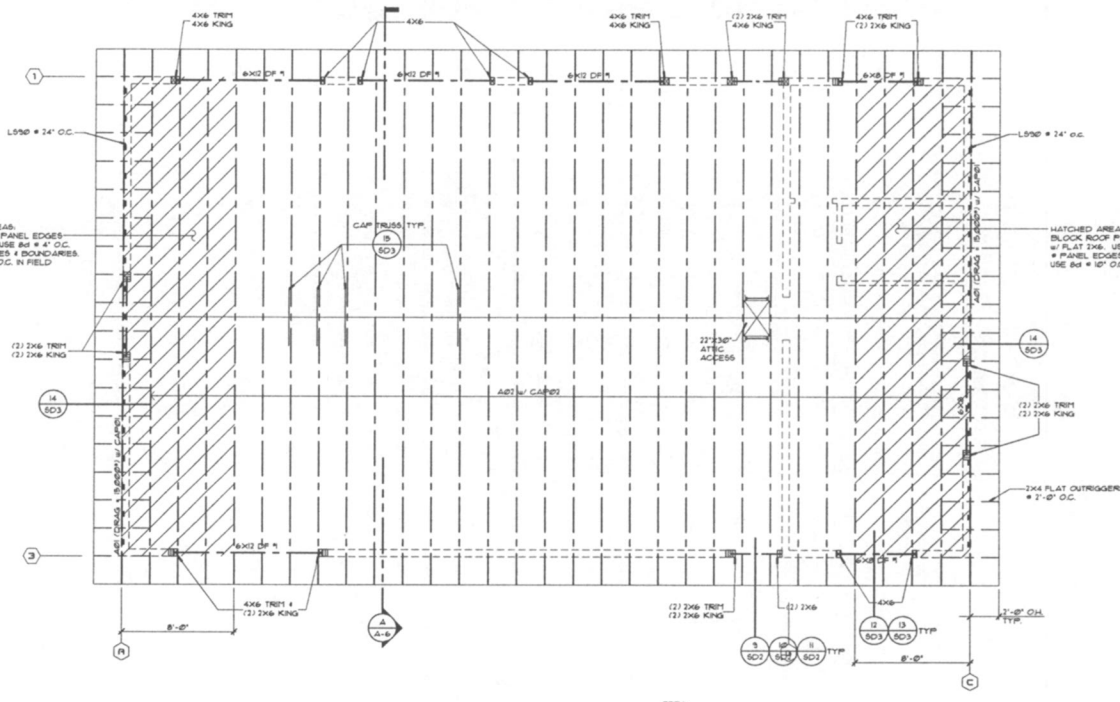
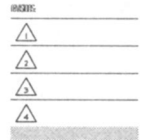
DATE: 7/17/17  
(E) UPPER FLOOR  
PLAN

JOB NO. 1749

**A-4**



7-17-17



**ROOF FRAMING PLAN**  
 SCALE 1/4" = 1'-0"

**Attic Ventilation Calc's:**

ISC SECTION 8866.2

TOTAL ATTIC AREA:	182 SQFT.
OPENING AREA = 1/200 (182 / 300)	361 SQFT.
50% RIDGES + 50% EAVES:	130 SQFT. EACH
MIN. 2 LF. RIDGE VENT REQ'D.	
EAVE VENTING (TOTAL PERIMETER):	68 LF.
(4) 7x HOURS PER VENT BLK.	6381 SQFT. EACH
VENTING BLOCKS = 4'-0" O.C.	
68 LF. / 4 LF. = 17 BLK'S X 6381 SF/BLK =	148 SQFT. > 130 SQFT.

**Pre-fabricated truss notes:**

- TRUSS MANUF. SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS, CONNECTIONS, BLOCKING, BRACING & TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN THE ARCHITECT'S DRAWINGS, TRUSS MANUF. INFORMATION, ANY REQ'D. FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT & IT'S COMPLIANCE TO THE ARCHITECT'S DESIGN. THE ARCHITECT & STRUCTURAL ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.
- USE PRE-ENGINEERED MANUFACTURED TRUSSES = 24" O.C. SOLID BLOCK & SUPPORTS & PER MANUFACTURER'S SPECIFICATIONS. USE SIPPHON H-1 & EA. SUPPORT WALL/BEAM TO EA. TRUSS & H-5 & EA. SUPPORT WALL/BEAM TO EA. GIRDER TRUSS. HANG TRUSSES & GIRDER TRUSSES W/ SIPPHON H-226 OR AS SPECIFIED ON PLAN.

**Roof Framing Notes:**

- ROOF LOADS: SHOW 2" 50 FT. DEAD 24" 50 FT.
- ALL FRAMING HARDWARE NOTED SHALL BE 'SIPPHON' INSTALL PER MANUF. REQUIREMENTS.
- TYP. ROOF SHEATHING SHALL BE MIN. (5/32") STRUCT. II CDX PLYUD. OR OSB. PL. 1/2" W/ 8d # 6" O.C. BOUNDARY & EDGES, 4" O.C. # CHAD TRUSSES & 12" O.C. # FIELD. SEE STRUCT. DRAWINGS FOR UPLIFT NAILING ZONES. LAY PLYUD. PERP. TO SUPPORTS & STAGGER ALL JOINTS. TYP.
- 4x6 DFN TYP. HEADER UNO.
- PROVIDE 2x6 FASCIA W/ SHEET METAL DRIP FLASHING. TYP.
- PROVIDE ROOF VENTILATION PER I.R.C. (1 SQFT. PER EA. 300 SQFT. OF ATTIC AREA) SEE ATTIC VENTILATION CALC'S. PROVIDE 1x38 INAL. THROUGHOUT ATTIC W/ INAL. SAMPLES & EAVE VENTS. TYP.
- USE 2x16-8 BETWEEN TOP PLATE (T.C.) SPLICES W/ MIN. 6'-0" LAP. TYP. UNO.
- USE 2x4 PLAT W/ 2x6 STRONGBACK = 24" O.C. = GABLE END FRAMING.
- SEE SHEET 50-1 FOR ADDITIONAL STRUCTURAL NOTES & SCHEDULES.
- USE TRUSS CALC'S & DETAIL (S.D.3) FOR PERMANENT LATERAL TRUSS BRACING SPEC'S.

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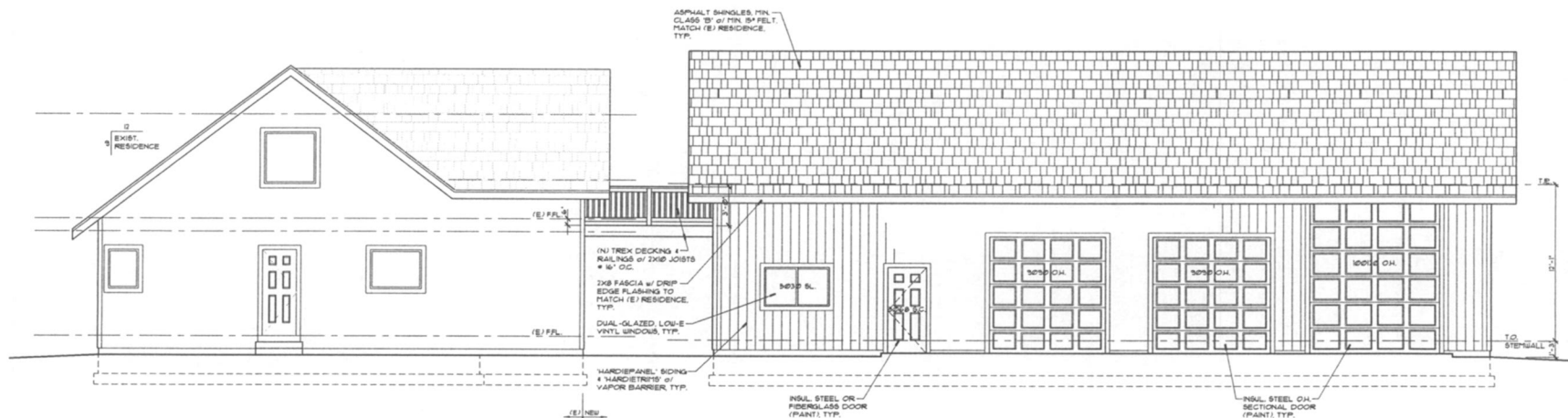
ROOF FRAMING PLAN

1749

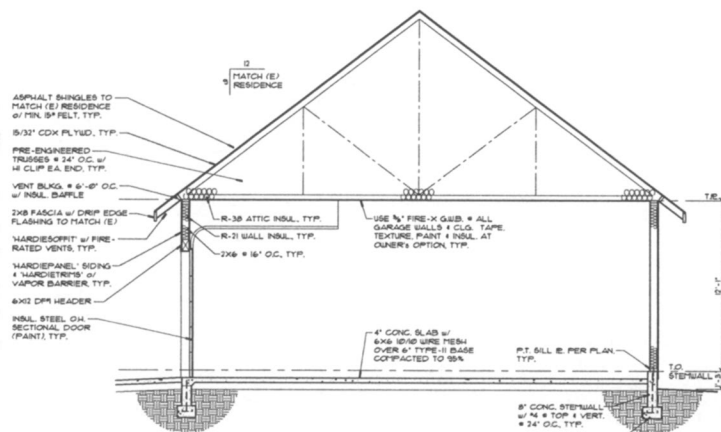
**A-5**



7-17-17



**South Elevation**  
SCALE 1/4" = 1'-0"



**building section 17**  
SCALE 1/4" = 1'-0"

**Wildland Urban Interface notes:**

**GENERAL (WUI) NOTES:**

1. ALL EXTERIOR BUILDING MATERIALS MUST COMPLY w/ 202 WILDLAND URBAN INTERFACE (WUI) CODE FOR NEW CONSTRUCTION.
2. ALL BUILDING MATERIAL MUST BE INSTALLED PER MANUF. DETAILS & SPEC'S. SEE EXTERIOR ELEVATIONS & BUILDING SECTIONS FOR LOCATION & DETAILS OF BUILDING MATERIALS LISTED BELOW.
3. PROPERTY IS DESIGNATED AS "HIGH FIRE HAZARD" (WUI TABLE 903) w/ DEFENSIBLE SPACE & NON-COMFORMING WATER SUPPLY & IIR (CLASS 2) CONSTRUCTION REQ'D.

**PROPOSED (WUI) BUILDING STANDARDS:**

**ROOFING:**

**ROOFING MATERIAL:**  
ASPHALT ROOF SHINGLES CLASS 'B' FIRE-RESISTIVE. INSTALL PER MANUF. & CHAPTER 3 OF THE IRC.

**ROOF COVERINGS:**  
NO SPACE BETWEEN ROOF COVERING & ROOF DECKING.

**ROOF VALLEYS:**  
FIN. 60"X NO. 26 GA. GALV. SHEET METAL. INSTALLED OVER NOT LESS THAN ONE (1) LAYER OF FIN. 12" MINERAL-SURFACED NONPERFORATED CAP SHEET. FIN. 3/4" WIDE RAINING THE FULL VALLEY LENGTH.

**ROOF GUTTERS:**  
MUST BE NON-COMBUSTIBLE MATERIAL & PROVIDED w/ THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS IN THE GUTTER.

**VENTS:**  
EAVE VENTS SHALL BE FIRE-RATED, "VALCAN INDUSTRIES" OR EQUAL. INSTALL PER MANUF.

**EXTERIOR COVERINGS:**

**EXTERIOR WALL MATERIAL:**  
JAMES HARDIE "HARDIPANEL" SIERRA 8 SIDING w/ "HARDITRIP" OR EQUAL APPROVED NON-COMBUSTIBLE MATERIAL.

**EXTENT OF COVERING:**  
EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF. & TERMINATE AT 3" NOM. SOLID WD. BLOCKING BETWEEN RAFTERS & ALL ROOF OVERHANGS.

**EAVE PROTECTION:**  
EAVES & SOFFITS SHALL BE PROTECTED ON EXPOSED UNDERSIDES BY IGNITION-RESISTANT MATERIALS - JAMES HARDIE "HARDISOFFIT" NON-VENTED CEDARELL OR EQUAL, APPROVED NON-COMBUSTIBLE MATERIAL.

**EXTERIOR WINDOWS & DOORS:**

**EXTERIOR WINDOWS & GLAZED DOOR ASSEMBLIES:**  
EXTERIOR WINDOWS & GLAZED DOOR ASSEMBLIES SHALL BE CONST. OF MULTI-PANE GLAZING OR TIPPED GLASS.

**EXTERIOR DOORS:**  
EITHER EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR CONSTRUCTED OF SOLID CORE WD. OF NOT LESS THAN 1" THICKNESS.

**DEFENSIBLE SPACE:**

1. PRIOR TO BUILDING PERMIT FINAL APPROVAL THE PROPERTY SHALL BE IN COMPLIANCE w/ THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN W.U.C. SECTION 603 & 604 "DEFENSIBLE SPACE".
2. THE ENFORCEMENT OF DEFENSIBLE SPACE & INSPECTION SHALL BE PERFORMED BY THE LOCAL JURISDICTION HAVING AUTHORITY.

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WASHOE COUNTY, NEVADA

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EXTERIOR ELEVATION, BLDG. SECTION 4 (WUI) NOTES

DATE:

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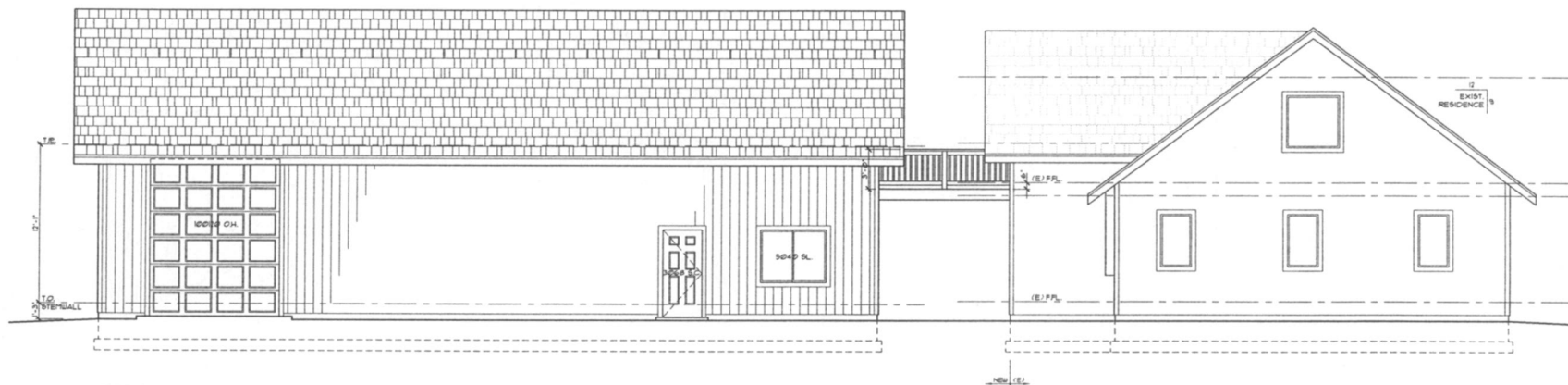
**A-6**

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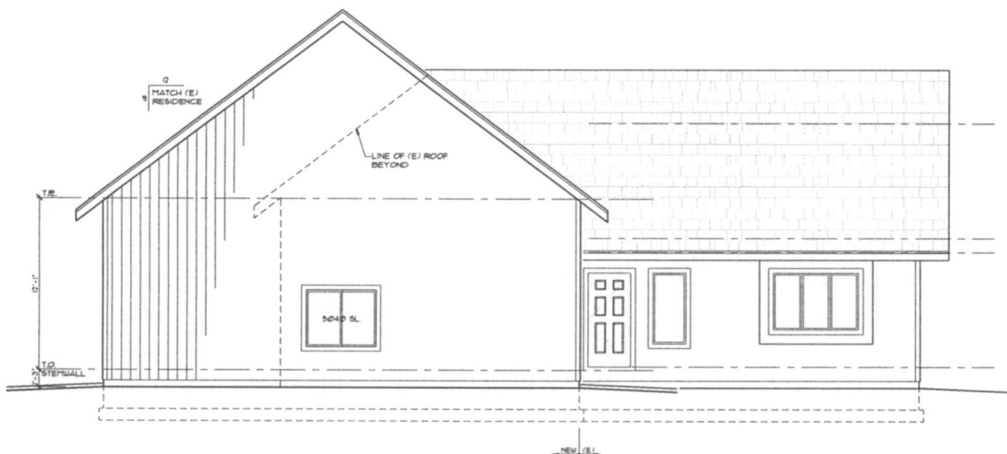
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**North Elevation**  
 SCALE 1/4" = 1'-0"

NOTE:  
 SEE SHEET A-6 FOR MATERIAL  
 CALL-OUTS



**East Elevation**  
 SCALE 1/4" = 1'-0"

**Garage Addition**  
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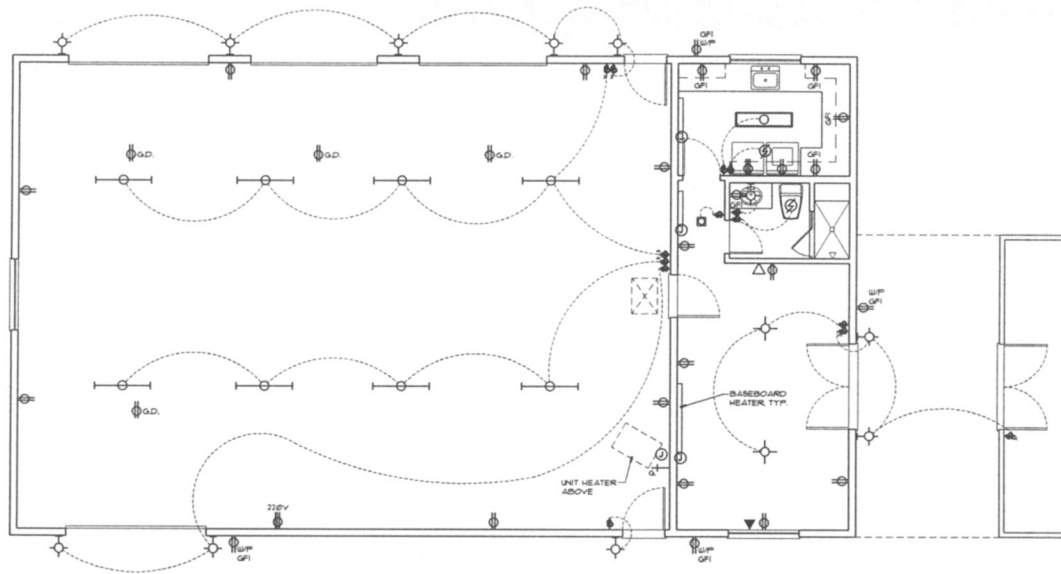
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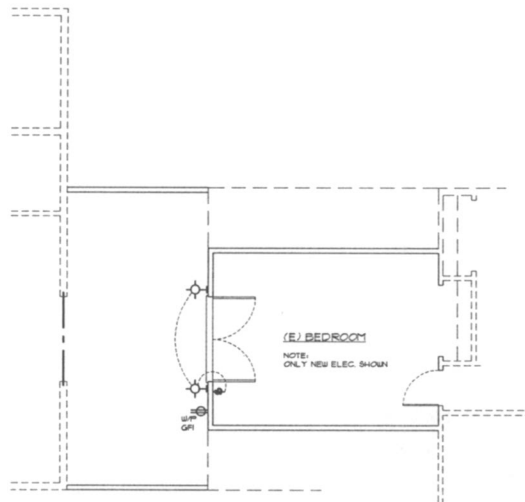
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**A-7**





Mech./Elec. Plan  
SCALE 1/4" = 1'-0"



UPPER FLOOR Mech./Elec. Plan  
SCALE 1/4" = 1'-0"

Mech./Elec. Legend:

- ⊖ 110 V. DUPLEX OUTLET - GFI WHERE NOTED
- ⊖ 220 V. OUTLET (PROVIDE DISCONNECT # A/C CONDENSER)
- ⊖ 110 V. 1/2" BOX
- ⊖ SWITCH - DIFFER (D) 3-WAY (3) PILOT LIGHT (P.L.) AS NOTED
- ⊖ RECESSED LIGHT - PROVIDE DIFFERS # ALL CIRCUITS # LENSES IN WATER AREAS, CLOSETS # EXTERIOR. FIXTURES INSTALLED IN SET LOCATIONS SHALL BE MARKED AS SUCH.
- ⊖ SURFACE MOUNTED LIGHT - CHANDELIER (CH)
- ⊖ WALL MOUNTED LIGHT
- ⊖ FAN OR FAN/LIGHT - V.T.O.
- ⊖ TELEPHONE - CATEGORY 5 WIRING
- ⊖ CABLE T.V. - RG 6 WIRING
- ⊖ FLUORESCENT LIGHT FIXTURE
- ⊖ GAS STUB (G.) - WATER STUB (W)

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEC. & I.R.C. AS AMENDED BY THE LOCAL GOVERNING AUTHORITY.
2. ALL SWITCHES SHALL BE LOCATED CLEAR OF DOOR SWINGS.
3. SEE SHEET A-3 FOR ANY MINOR MODIFICATIONS TO FLOOR PLAN.
4. ALL EXTERIOR OUTLETS & FIXTURES SHALL BE WATERPROOF.
5. ALL GARAGE OUTLETS SHALL BE GFI & MTD. # 20' AFF. MIN.
6. A MIN. OF 2% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH EFFICACY LAMPS.

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REVISIONS:

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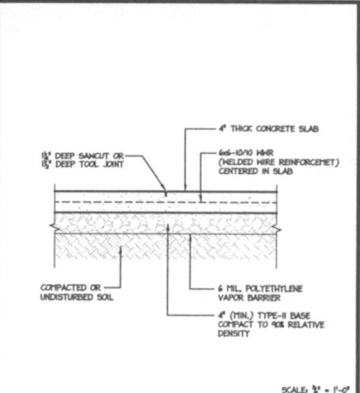
MECH./ELEC.  
PLANS

DATE: 1/14/17

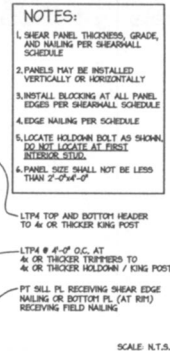
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**ME-1**

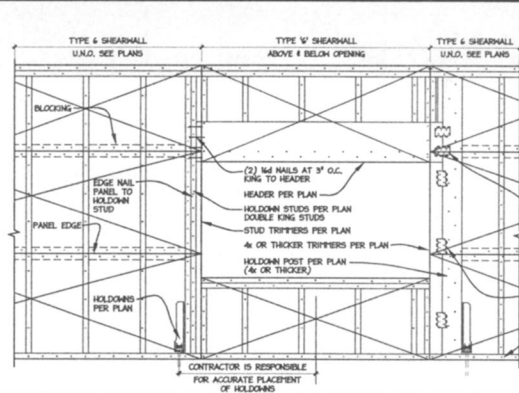




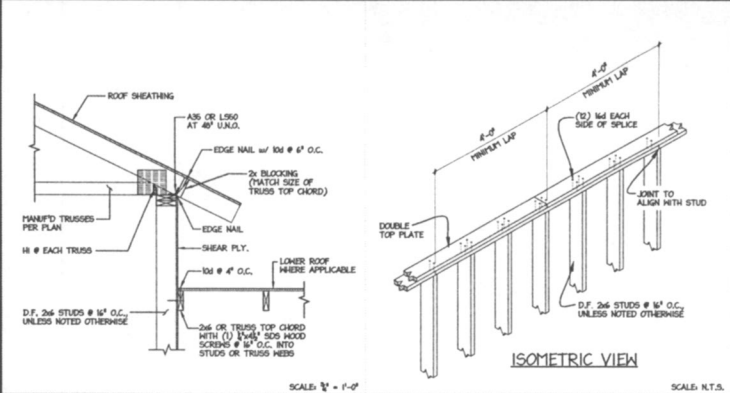
8 Typ. Saw Joint (S.J.)



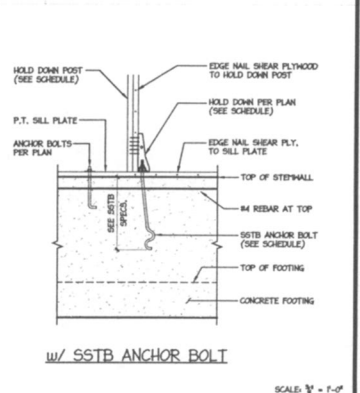
9 Typical Shearwall / Header



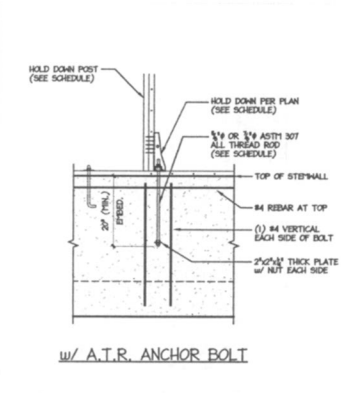
10 Top Plate Splice



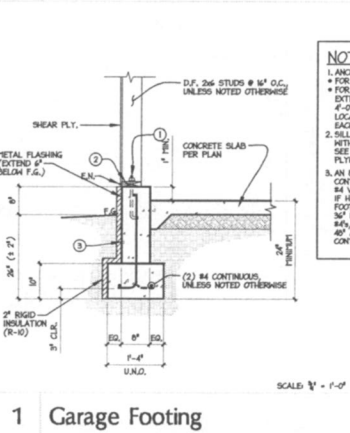
11 Typical Truss @ Eave



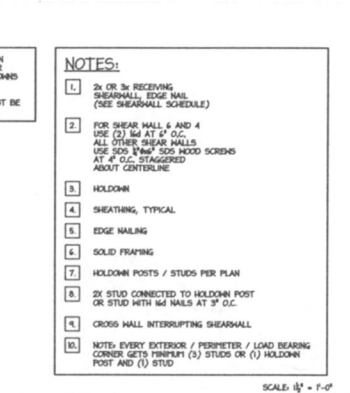
5 Holdown Embedment Detail



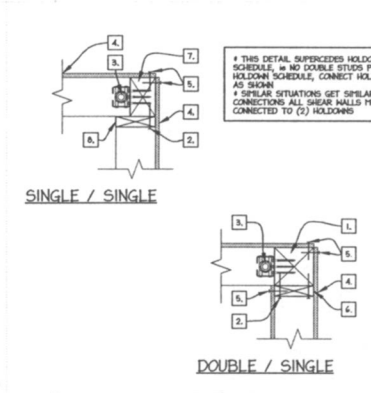
6 Interior Shear Transfer And Interrupting Shearwall



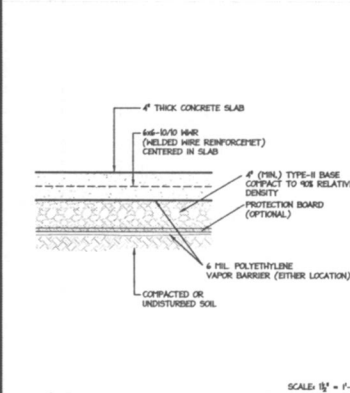
7 Concrete Slab (on grade)



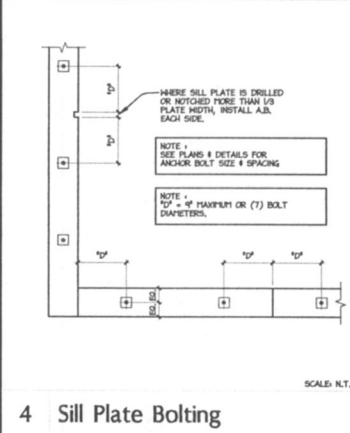
3 Rebar Reinf. Placement



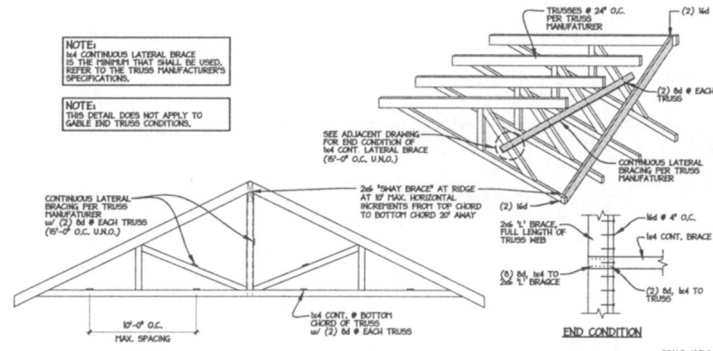
4 Sill Plate Bolting



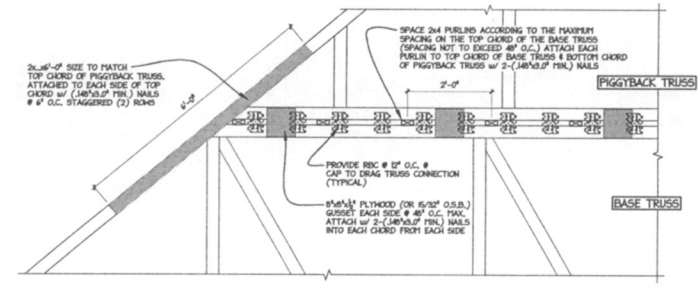
1 Garage Footing



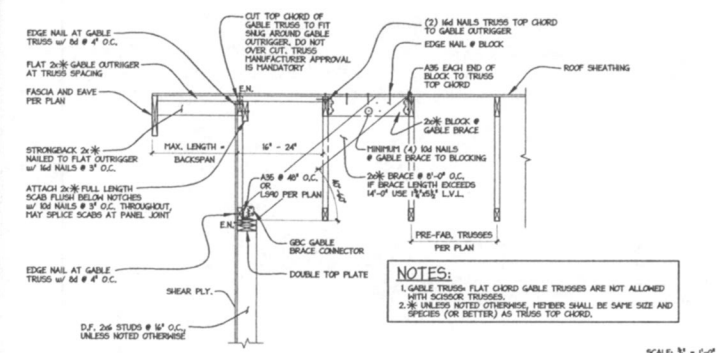
2 Slab Detail @ Garage Door



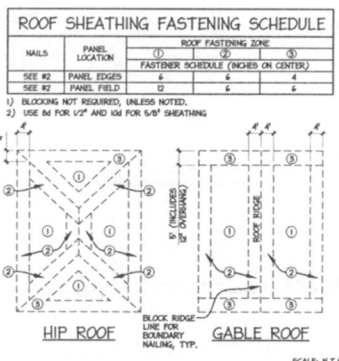
16 Permanent Lateral Truss Bracing



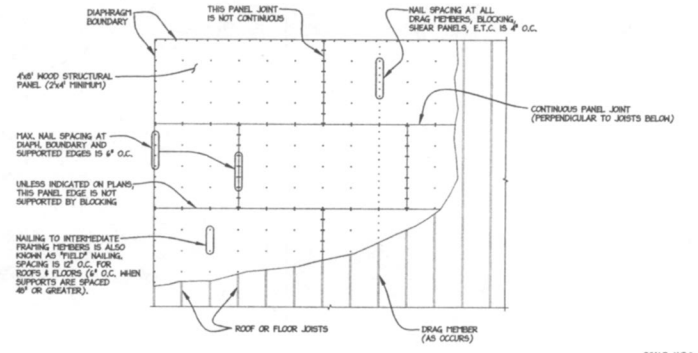
15 PIGGYBACK TRUSS CONNECTION



14 Gable Wall Bracing



13 Roof Fastening Zones



12 Unblocked Diaphragm Nailing